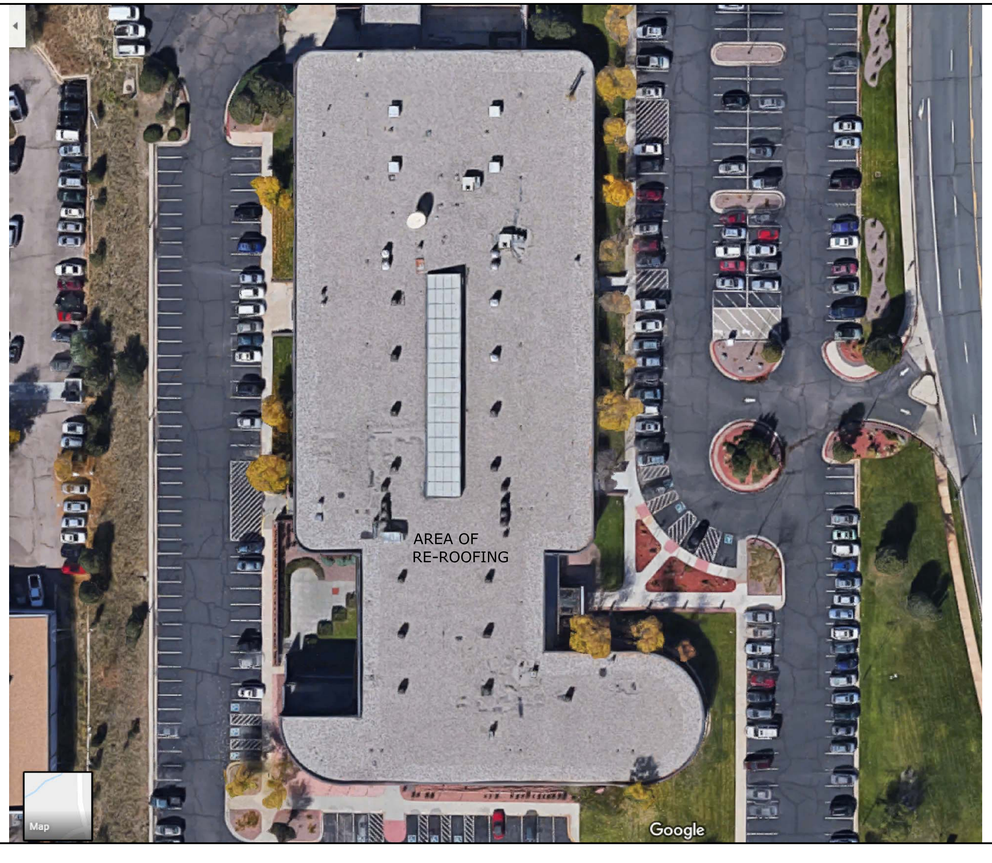
PIKES PEAK LIBRARY 21c RE-ROOFING

1175 CHAPEL HILLS DR, COLORADO SPRINGS, COLORADO

GENERAL NOTES

1. ALL WORK WILL BE PERFORMED IN STRICT ACCORDANCE WITH ALL LOCAL LAWS., ORDINANCES, RULES AND REGULATIONS OF GOVERNMENT AUTHORITIES HAVING JURISDICTION.
2. CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ALL BUILDING PERMITS
3. CONTRACTOR SHALL VISIT JOB SITE TO REVIEW SCOPE OF WORK AND EXISTING JOB CONDITIONS, THIS INCLUDES ALL DEMOLITION WORK, DIMENSIONS, HVAC, PLUMBING AND ELECTRICAL WORK THAT ARE PART OF THIS CONTRACT.
4. CONTRACTOR SHALL IMMEDIATELY NOTIFY ARCHITECT OF ANY CONFLICTS OR OMISSIONS, PRIOR TO THE PERFORMANCE OF THE WORK IN QUESTION.
5. CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER FOR A PRECONSTRUCTION SITE MEETING PRIOR TO COMMENCING WORK
6. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN ALL PARTITION LOCATIONS. ALL DOOR AND OPENING LOCATIONS SHALL BE INDICATED ON PLAN. IN CASE OF CONFLICT, NOTIFY THE ARCHITECT. ALL DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES INCLUDING CARPET, PAD, TILE, SHEET VINYL, WAINSCOT, ETC.
7. ITEMS INDICATED IN THIS SET OF DOCUMENTS ARE NOT TO BE ALTERED WITHOUT WRITTEN CONSENT FROM THE ARCHITECT OR ENGINEER. IF ALTERATIONS MADE BY THE OWNER OR CONTRACTOR, THE ARCHITECT AND/OR ENGINEER ASSUME NO RESPONSIBILITY FOR SUCH CHANGES.
8. THERE IS EXISTING SATELLITE DISH ON THE ROOF, THIS EQUIPMENT CANNOT BE DISTURBED DURING CONSTRUCTION. CONTRACTOR WILL TAKE SPECIAL CARE IN MAINTAINING ELECTRICAL CONNECTION TO THIS EQUIPMENT AT ALL TIMES.
9. ALL WORK SHALL HAVE FINAL INSPECTION BY ARCHITECT AND OWNER. CONTRACTOR WILL PREPARE FINAL PUNCH LIST OF DEFICIENT ITEMS THAT MUST BE CORRECTED BEFORE FINAL PAYMENT TO THE CONTRACTOR
10. ALL WORK WILL BE INSPECTED BY ROOFING MANUFACTURERS REPRESENTATIVE. SEE SPECIFICATIONS FOR ROOFING WARRANTIES REQUIRED FOR THIS PROJECT. ANY EXCEPTIONS TO THE WARRANTY WILL HAVE TO BE PROVIDED PRIOR TO BID FOR EVALUATION. NO CHANGES WILL BE ACCEPTED AFTER CONTRACT HAS BEEN AWARDED.

ROOF MAP



DRAWING INDEX

CODE STUDY

PROJECT DESCRIPTION

REPLACEMENT OF EXISTING FAILING BALLASTED EPDM ROOF SYSTEM WITH NEW FULLY ADHERED PVC MEMRANE ROOF. REPLACEMENT OF EXISTING ROOF INSULATION AND COVER BOARD, CAP FLASHING, ARE ALL INCLUDED. PROJECT IS SCHEDULE FOR CONSTRUCTION SPRING 2019

GOVERNING CODES

2017 PIKES PEAK REGIONAL BUILDING CODE (PPRBC)
2015 INTERNATIONAL BUILDING CODE (IBC)
2015 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
2015 INTERNATIONAL MECHANICAL CODE (IMC)
2015 INTERNATIONAL FUEL GAS CODE (IFGC)
2015 INTERNATIONAL PLUMBING CODE (IPC)
2014 NATIONAL ELECTRICAL CODE (NEC)
2009 ICC/ANSI A117.1 ACCESSIBILITY STANDARD
ASME A17.1, 2013 EDITION, SAFETY CODE FOR ELEVATORS & ESCALATORS
ASME A17.3, 2011 EDITION, SAFETY CODE FOR EXISTING ELEVATORS & ESCALATORS
THE 2009 INTERNATIONAL FIRE CODE AND AMENDMENTS AS ADOPTED BY THE COLORADO SPRINGS FIRE DEPARTMENT.

CODE DATA

OCCUPANCY CLASSIFICATION	A3 - LIBRARY
CONSTRUCTION TYPE	III-B
INTERIOR NON-BEARING WALL	NON-RATED
FIRE SPRINKLERS	AUTOMATIC FIRE SPRINKLERS THROUGHOUT

OCCUPANT LOAD AND EXIT REQUIREMENTS

EXITING IS UNAFFECTED BY THE MODIFICATIONS

PLUMBING FIXTURE REQUIREMENTS

EXISTING PLUMBING FIXTURE COUNT IS UNAFFECTED BY THE MODIFICATIONS

DESIGN TEAM

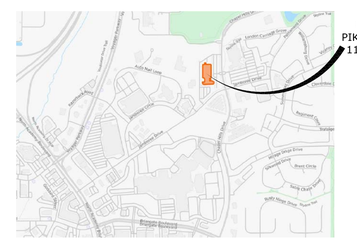
BUILDING OWNER
PIKES PEAK LIBRARY DISTRICT
P.O. BOX 1579
COLORADO SPRINGS, CO 80901
CONTACT: GARY SYLING, FACILITIES OFFICER
TEL: 719-884-9804

ARCHITECT
DESIGN EDGE, P.C.
711 N. CASCADE AVE
COLORADO SPRINGS, CO 80903
TEL: 719-667-1972 X 114
CONTACT: SWAGATA GUHA, AIA

DRAWING SYMBOLS

ROOM NAME AND NUMBER — ROOM NAME 123
PLAN NOTE — XX
DETAIL REFERENCE NUMBER — 1
SHEET NUMBER — A6.4
SECTION / ELEVATION NUMBER — 1
SHEET NUMBER — A4.2
REVISION NOTE — 1
FIRE EXTINGUISHER CABINET — FEC
DOOR NUMBER — XXX
WINDOW TYPE — X
WALL TYPE — UW
CEILING ELEVATION ABOVE FINISHED FLOOR — 9'-0"
CEILING MATERIAL — ACT

VICINITY MAP



GRAPHIC PLAN SYMBOLS

CONTINUOUS SHADED LINE INDICATES (E) WALL PARTITION
DASHED/BROKEN LINE INDICATES WALL TO BE DEMOLISHED
NEW METAL STUD PARTITION
ONE HOUR RATED WALL CONSTRUCTION
TWO HOUR RATED WALL CONSTRUCTION

ABBREVIATIONS

ACT	ACOUSTICAL CEILING TILE
AFF	ABOVE FINISH FLOOR
ALUM	ALUMINUM
ANOD	ANODIZED
∠	ANGLE
B.O.	BOTTOM OF
CJ	CONTROL JOINT
℄	CENTER LINE
CMU	CONCRETE MASONRY UNIT
CT	CERAMIC TILE
DIA	DIAMETER
(E)	EXISTING
EIFS	EXTERIOR INSULATION AND FINISH SYSTEM
EJ	EXPANSION JOINT
ELEV	ELEVATION
EQ	EQUAL
EWC	ELECTRIC WATER COOLER
FD	FLOOR DRAIN
F.E.	FIRE EXTINGUISHER CABINET
FMC	FLOOR MATERIAL CHANGE
FRT	FIRE RETARDANT TREATED
FV	FIELD VERIFY
GA	GAUGE
GC	GENERAL CONTRACTOR
GLZ'G	GLAZING
HM	HOLLOW METAL
LAM	LAMINATE
MAT'L	MATERIAL
MAX	MAXIMUM
MIN	MINIMUM
MO	MASONRY OPENING
NIC	NOT IN CONTRACT
NO.	NUMBER
NTS	NOT TO SCALE
OC	ON CENTER
OD	OVERFLOW DRAIN
+/-	PLUS OR MINUS
P.J.	PRECAST PANEL JOINT
P.R.	PAIR
P.T.	PRESSURE TREATED
RAD	RADIUS
RAT'G	RATING
RB	RUBBER BASE
RD	ROOF DRAIN
RE.	REFER TO
R.O.	ROUGH OPENING
SIM	SIMILAR
SPEC	SPECIFICATIONS
STL	STEEL
TBD	TO BE DETERMINED
T.O.	TOP OF
TS	TUBE STEEL
TYP	TYPICAL
UNO	UNLESS OTHERWISE NOTED
V.B.	VAPOR BARRIER
VCT	VINYL COMPOSITION TILE
V.R.	VAPOR RETARDER
WD	WOOD

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REGISTRATION:

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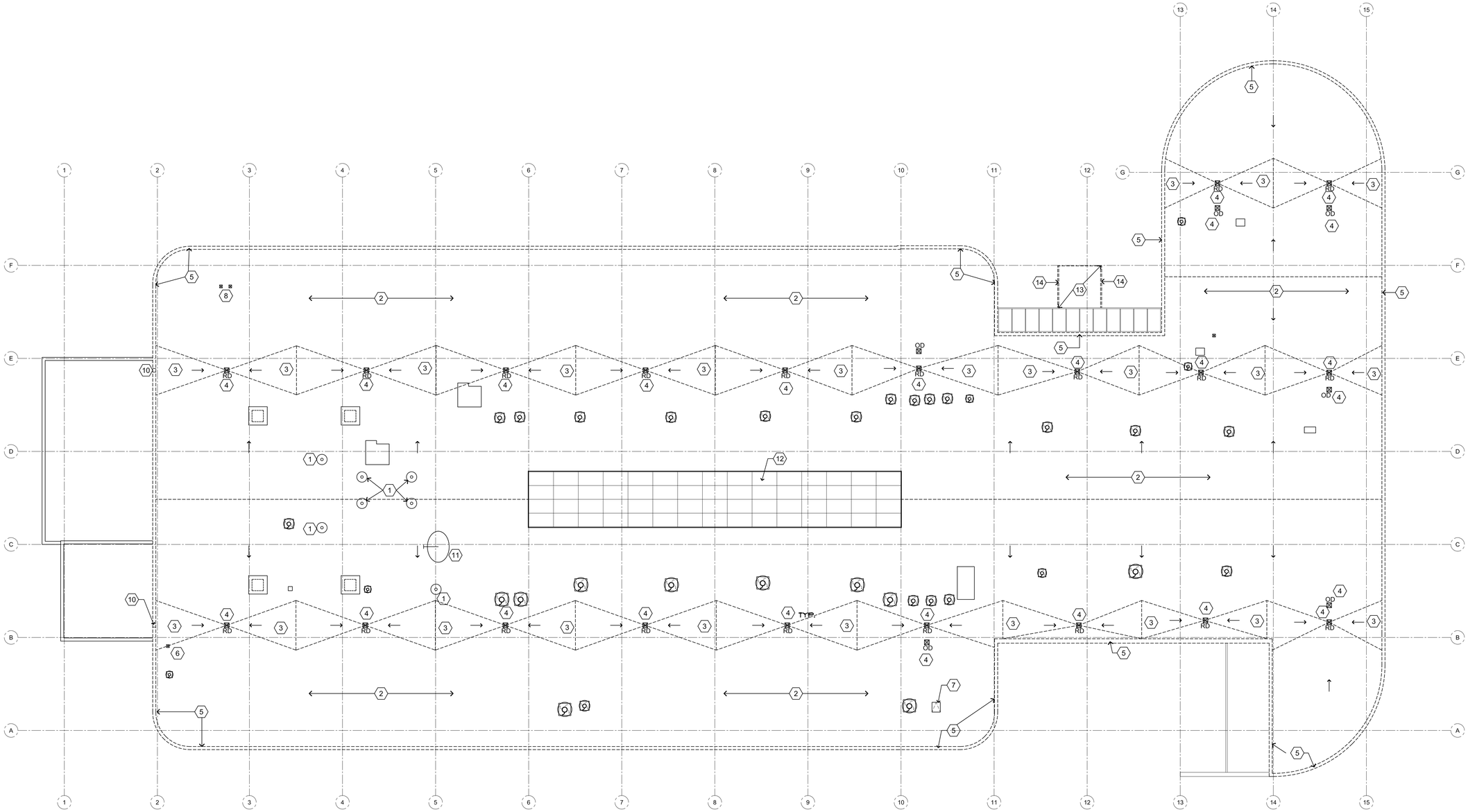
COLORADO SPRINGS, COLORADO

ISSUE DATES:
95% REVIEW - 09-19-18
100% CD'S 09-21-18

PROJECT NO.	18139
DRAWN BY:	
CHECKED BY:	SGT
DATE:	9/21/2018

SHEET TITLE:
PROJECT DATA

SHEET NO.
T1



ROOF LEGEND

⊠	ROOF DRAIN
	EXHAUST FAN
	MECHANICAL EXHAUST
⊠O	VENT STACK
	MECHANICAL AIR HANDLING UNIT
	ROOF HATCH
	SATELLITE DISH

EXISTING ROOF SYSTEM

ROOF DECK TYPE :	STANDARD GRADE/CONFIGURATION - METAL DECK
BOTTOM LAYER ROOF INSULATION :	2.5 INCH POLYISOCYANURATE R VALUE 12.5
TOP LAYER ROOF INSULATION:	2.25 INCH EPS- EXPANDED POLYSTYRENE R VALUE 8.55
ROOF MEMBRANE :	ROOF MEMBRANE STONE BALLASTED LOOSE LAID EPDM RUBBER

GENERAL NOTES

A. EVERY EFFORT HAS BEEN MADE TO INDICATE ALL MAJOR ROOF TOP EQUIPMENT AND PENETRATIONS, BUT NOT ALL ROOF TOP EQIPMENT/PNETRATIONS MAYBE INDICATED ON THIS DRAWINGS. CONTRACTOR WILL VISIT THE SITE AND PERFORM THEIR OWN INNVENTORY OF ROOF TOP EQUIPMENT PRIOR TO THEIR BID

B. CONTRACTOR SHALL REMOVE ALL ROOFING MATERIAL INCLUDING TAPERED INSULATIONS DOWN TO METAL DECK.

C. CONTRACTOR SHALL REMOVE ALL FLASHING AND SEALANTS COMPLETE ALLOW FOR NEW INSTALLATION OF SEALANTS AND FLASHING AT THE PERIMETER AND OTHER BUILDING INTERFACES.

D. CONTRACTOR SHALL THOROUGHLY REMOVE ALL TRASH AND CONSTRUCTION DEBRIS FROM THE BUILDING. COORDINATE DUMPSTER LOCATIONS WITH BUILDING OWNER.

E. CONTRACTOR SHALL PROTECT ALL EXISTING CONDITIONS TO REMAIN DURING DEMOLITION AND CONSTRUCTION.

F. PREPARE EXISTING DECK AND SUBSTRATE TO REMAIN FOR INSTALLATION OF NEW ROOFING.

G. CONTRACTOR WILL INCLUDE IN HIS BID ANY ASSOCIATED COST WITH REMOVING AND REINSTALLING EQUIPMENT ON THE ROOF, INCLUDING BUT NOT LIMITED TO EXTENDING CONNECTIONS DUE TO INCREASED ROOF CURB HEIGHTS AT EXHAUST FANS. ALL EXISTING ROOF MOUNTED EQUIPMENT SHALL BE LIFTED OR REMOVED AS NEEDED SO THAT EXISTING FLASHINGS CAN BE TOTALLY REMOVED.

H. REMOVE ONLY AS MUCH MATERIAL AS CAN BE TOTALLY REPLACED IN THE SAME DAY.

I. DEMOLITION SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH THE REPLACEMENT OF MATERIALS BEING USED.

J. DEMOLITION ADJACENT TO AREAS TO REMAIN SHALL BE PERFORMED IN A NEAT MANNER WITH STRAIGHT LINES TO FACILITATE TIE-INS OF REPLACEMENT MATERIALS. CONTRACTOR SHALL REVIEW TIE-IN METHODS WITH THE ARCHITECT FOR APPROVAL. ARCHITECT HAS FINAL APPROVAL OF SUCH METHODS

K. PRIOR TO THE INSTALLATION OF ANY NEW ROOFING, FLASHINGS, METAL FLASHINGS, ANY OTHER MISCELLANEOUS ITEMS, THE CONTRACTOR SHALL CLEAN SURFACES OF ALL DUST, DIRT, AND OTHER FOREIGN MATERIALS. INSPECT THE DECK CAREFULLY. IF, IN THE CONTRACTOR'S OPINION, THERE ARE STRUCTURAL METAL DECK AREAS THAT REQUIRE REPAIR AND/OR REPLACEMENT, NOTIFY THE ARCHITECT. DO NOT PROCEED WITH ANY REPAIRS OR REPLACEMENT UNTIL DIRECTED BY THE ARCHITECT.

L. PRIOR TO THE INSTALLATION OF ANY NEW ROOFING MATERIALS, EXTEND ALL EXISTING PLUMBING PIPE VENTS THROUGH THE ROOF TO A MINIMUM HEIGHT OF 8 INCHES (OR AS REQUIRED BY LOCAL PLUMBING CODES) ABOVE THE NEW FINISHED ROOF SURFACE. MODIFICATIONS SHALL BE PERFORMED AS FOLLOWS:
1. CUT OFF PIPE AT A POINT BELOW THE DECK IN A NEAT MANNER. USE THE SAME TYPE OF PIPE AS THE EXISTING SO AS TO EXTEND A MINIMUM OF 8 INCHES ABOVE THE FINISHED ROOF LEVEL. USE A 4-BAND NO-HUB CLAMP TO SECURE THE NEW PIPE TO THE EXISTING.
2. WHERE IT IS NOT FEASIBLE TO CUT OFF THE PIPE BELOW THE DECK, CUT OFF THE EXISTING PIPE TO A POINT APPROXIMATELY 2 INCHES ABOVE THE SURFACE OF THE DECK. USE THE SAME TYPE OF PIPE AS THE EXISTING SO AS TO EXTEND A MINIMUM OF 8 INCHES ABOVE THE FINISHED ROOF LEVEL. USE A4-BAND NO-HUB CLAMP TO SECURE THE NEW PIPE TO THE EXISTING.

M. FURNISH AND INSTALL NEW ¼" THICK STEEL GUY WIRE MOUNTING BRACKETS AT LOCATIONS WHERE EXISTING MOUNTING BRACKETS WERE REMOVED. VERTICAL LEG OF MOUNTING BRACKET SHALL EXTEND A MINIMUM OF 2 INCHES ABOVE THE NEW PENETRATION POCKET SUCH THAT THE GUY WIRE CONNECTION IS LOCATED ABOVE THE POURABLE SEALER.
NOTE: CONTRACTOR TO PROVIDE DRAWING DETAIL TO CONSULTANT FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION

N. WHERE WOOD BLOCKING AND/OR WOOD CURBS ARE DAMAGED OR DETERIORATED, REMOVE ALL DAMAGED OR DETERIORATED WOOD AND REPLACE WITH NEW WOOD BLOCKING. SECURE NEW WOOD BLOCKING WITH APPROPRIATE FASTENERS AT SPACING NOT TO EXCEED 12 INCHES ON CENTER.

O. OWNER INTENDS TO REUSE EXISTING ROOF GRAVEL IN LANDSCAPING. CONTRACTOR WILL COORDINATE REMOVAL OF GRAVEL WITH LANDSCAPER.

KEY DEMOLITION PLAN NOTES

1. (E) TUBULAR SKYLIGHT
2. REMOVE (E) EPDM, BALLAST, INSULATION, VAPOR BARRIER ETC. TO (E) METAL DECK.
3. REMOVE (E) ROOF CRICKETS
4. (E) ROOF DRAIN TO REMAIN. CONTRACTOR SHALL PROVIDE ADDITIONAL COLLARS TO REPLACE EXISTING AS REQUIRED TO MATCH NEW ROOFING THICKNESS. SEE ADDITIONAL NOTES ON SHEET AR-2
5. REMOVE (E) CAP FLASHING COMPLETELY @ ALL ROOF PARAPETS SHOWN THUS.
6. (E) VENT STACK TO REMAIN.
7. (E) ROOF ACCESS HATCH TO REMAIN.
8. (E) VENT STACK TO REMAIN. REPLACE GUY WIRES AND MOUNTING PLATES WHERE NEEDED
9. REMOVE ROOF TOP EQUIPMENT/EXHAUST FAN TO INSTALL NEW RAISED CURB. PRIOR TO REINSTALLING EQUIPMENT
10. (E) SCUPPER - REMOVE FLASHING. RAISE SCUPPER OPENING FOR NEW INSULATION THICKNESS
11. (E) SATELLITE DISH TO REMAIN ACTIVE DURING CONSTRUCTION– PROTECT DURING CONSTRUCTION
12. (E) KALWALL ROOF SKYLIGHT TO REMAIN
13. REMOVE (E) ROOF MEMBRANE AND INSULATION DOWN TO DECK
14. REMOVE ROOF GUTTER AND DOWNSPOUT

1 ROOF DEMOLITION PLAN

SCALE: 1/16" = 1'-0"

NORTH

0 8 16 32

SCALE: 1"=16'

DESIGN EDGE
architecture interior design

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ROOF PLAN

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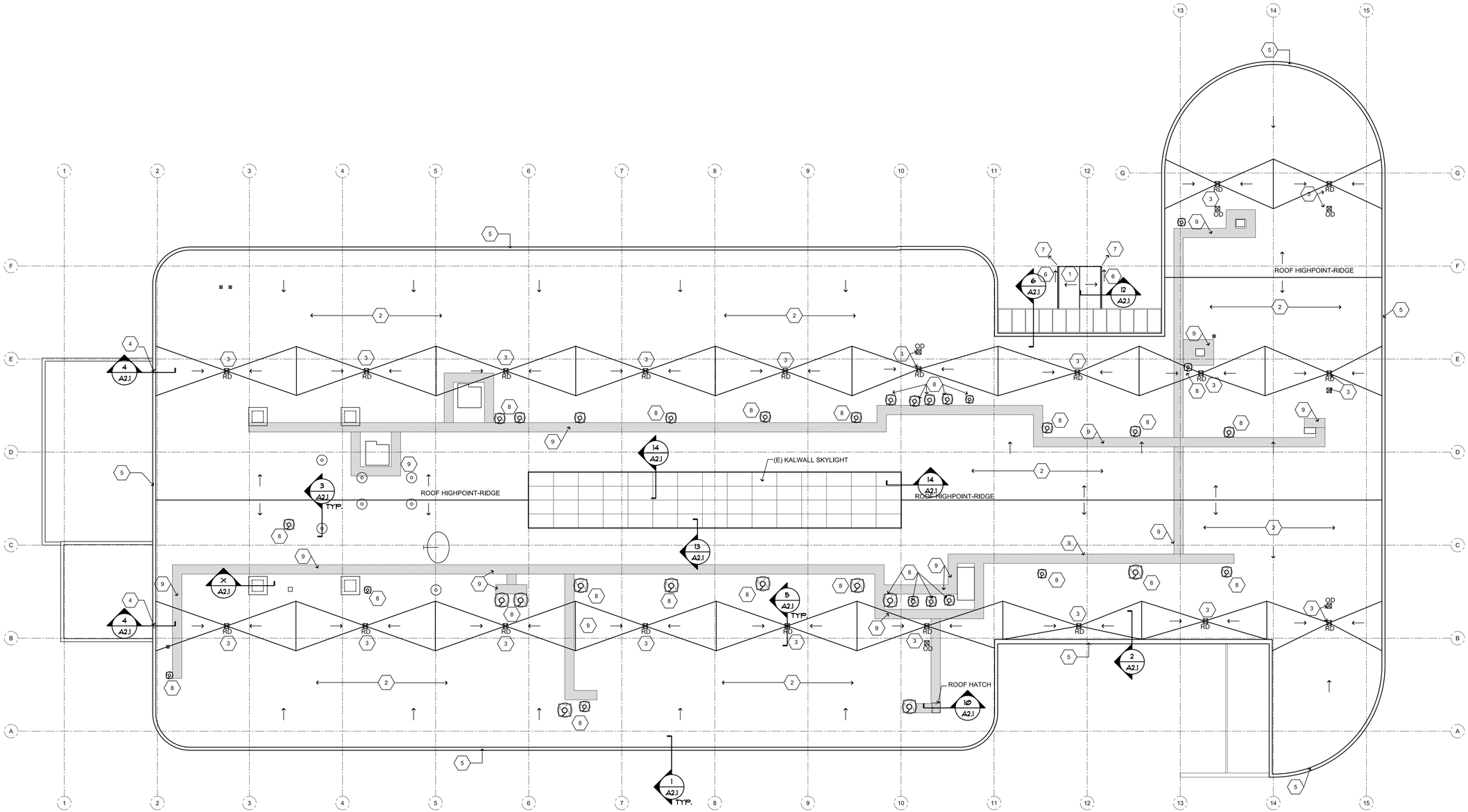
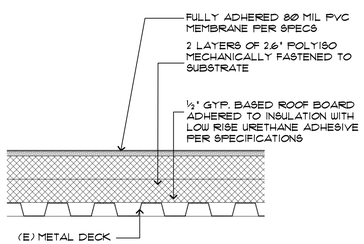
AD.1



ROOF SYSTEM DESCRIPTION



GENERAL NOTES

A. CONTRACTOR SHALL PROTECT ALL EXISTING CONDITIONS TO REMAIN DURING DEMOLITION AND CONSTRUCTION.

B. PREPARE EXISTING DECK AND SUBSTRATE TO REMAIN FOR INSTALLATION OF NEW ROOFING.

C. PREPARE SHOP DRAWINGS TO DETAIL ALL ROOF CONDITIONS. ARCHITECTS DETAILS ARE FOR DESIGN INTENT ONLY. FOLLOW MANUFACTURER'S RECOMMENDED INSTALLATION DETAILS FOR EACH CONDITION SHOWN

D. AT KALWALL SKYLIGHT, CONTRACTOR SHALL VERIFY EXISTING INSTALLED CONDITION AND COORDINATE WITH SKYLIGHT INSTALLER TO PROVIDE ADEQUATE COUNTER FLASHING FOR MEMBRANE AT THE BASE OF SKYLIGHT CURB

(X) KEY ROOF PLAN NOTES

1. PROVIDE NEW ROOF OVER ENTRY VESTIBULE TO MATCH EXISTING ROOF THICKNESS
2. ROOF SYSTEM WILL BE 80 MIL PVC FULLY ADHERED TO BASE LAYER OF 1/2" GLASS MAT FACED GYPSUM COVER BOARD OVER TAPERED POLYISO INSULATION (MIN. THICKNESS 5.2" R-30) OVER (E) METAL DECK ROOF SUBSTRATE.
3. EXISTING ROOF DRAINS. CONTRACTOR SHALL PROVIDE ADDITIONAL COLLARS TO REPLACE EXISTING AS REQUIRED TO MATCH NEW ROOFING THICKNESS. PREPARE SLOPED SUMP AREA PER DETAIL
4. EXISTING OVERFLOW SCUPPER LOCATIONS SHALL REMAIN. PROVIDE NEW SCUPPER FLASHING AT THRU' WALL CONDITION PER DETAIL.
5. PROVIDE NEW PERIMETER CAP FLASHING PER DETAIL
6. PROVIDE NEW GUTTER PER DETAIL -SLOPE NEW GUTTER AS SHOWN TOWARDS FRONT OF VESTIBULE EACH SIDE
7. PROVIDE DOWNSPOUT AND EXTEND AWAY FROM ENTRYWAY 10 FEET
8. EXISTING EXHAUST FAN TO REMAIN. CONTRACTOR SHALL RAISE AND RECONSTRUCT ROOF CURB AS REQUIRED TO ACCOMMODATE NEW ROOF SYSTEM HEIGHT.
9. PROVIDE NEW HEAVY DUTY WALKWAY PADS TO EXTENT INDICATED.

1 ROOF PLAN

SCALE: 1/16" = 1'-0"

NORTH

0 8 16 32

SCALE: 1"=16'

DESIGN EDGE
architecture interior design

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ROOF PLAN

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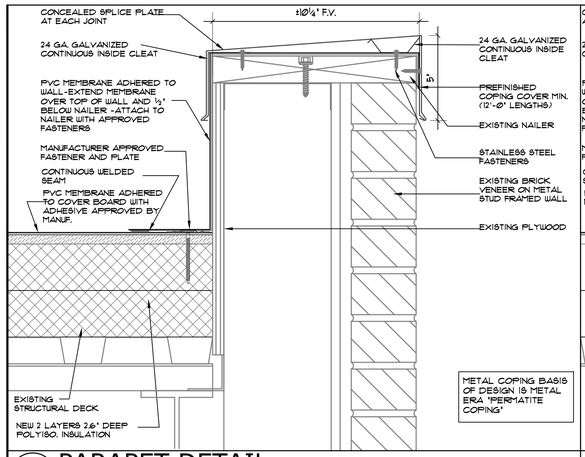
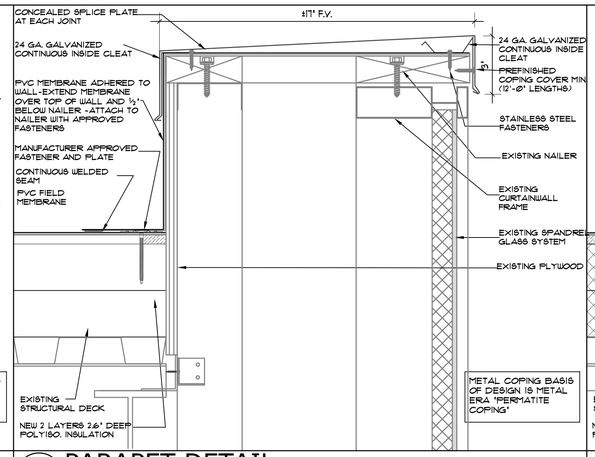
AR.1



1 PARAPET DETAIL
SCALE: 3" = 1'-0"



2 PARAPET DETAIL
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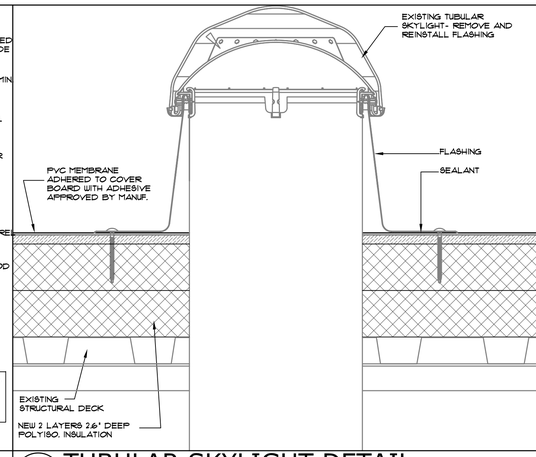
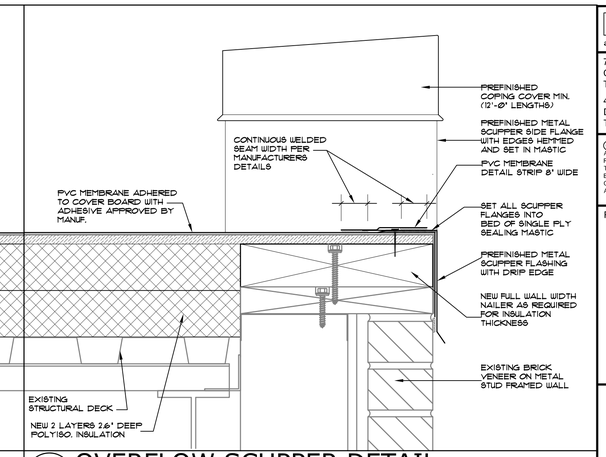
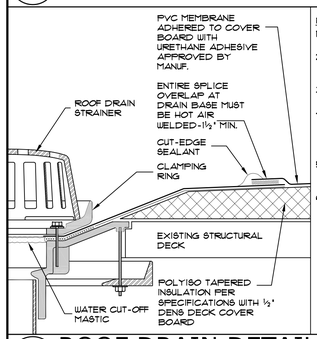


3 TUBULAR SKYLIGHT DETAIL
SCALE: 3" = 1'-0"

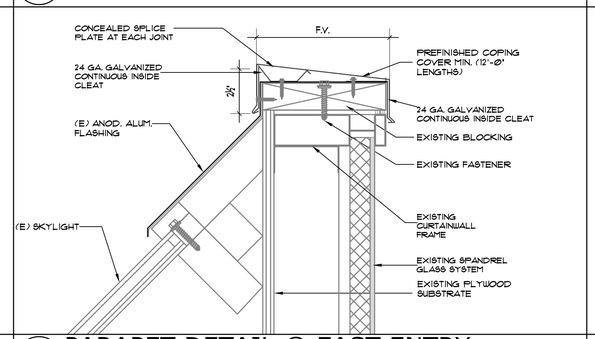


4 OVERFLOW SCUPPER DETAIL
SCALE: 3" = 1'-0"

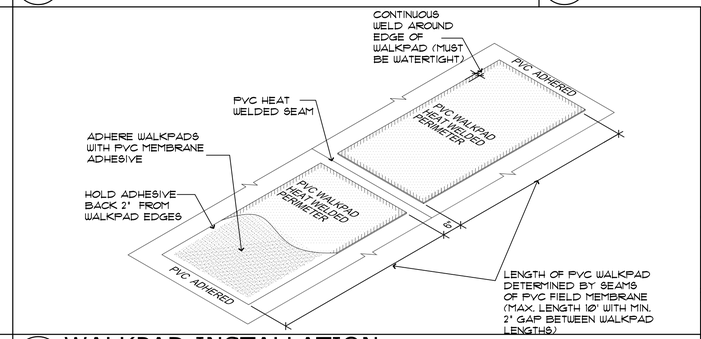


NOTES
1. REPLACE ANY BROKEN COMPONENTS (DRAINS, RINGS, BOLTS, ETC.)
2. SUMP AREA MUST BE PROPERLY TAPERED SO THAT THE DRAIN FLASHING IS NOT INSTALLED UNDER TENSION.
3. CLEAN OUT EXISTING DRAIN PIPE AND LEADER AS REQUIRED
4. THE HOLE IN THE MEMBRANE SHALL EXCEED THE DIAMETER OF THE DRAIN PIPE, BUT SHALL BE NO LESS THAN 1/2" (13mm) FROM THE ATTACHMENT POINTS OF THE DRAIN CLAMPING RING.
5. ALL BOLTS OR CLAMPS MUST BE IN PLACE TO PROVIDE CONSTANT COMPRESSION ON WATER CUT-OFF MASTIC.
6. REMOVE EXISTING LEAD, FLASHING MATERIAL & ENSURE THE DRAIN RING IS COMPLETELY CLEAN DOWN TO BARE METAL.

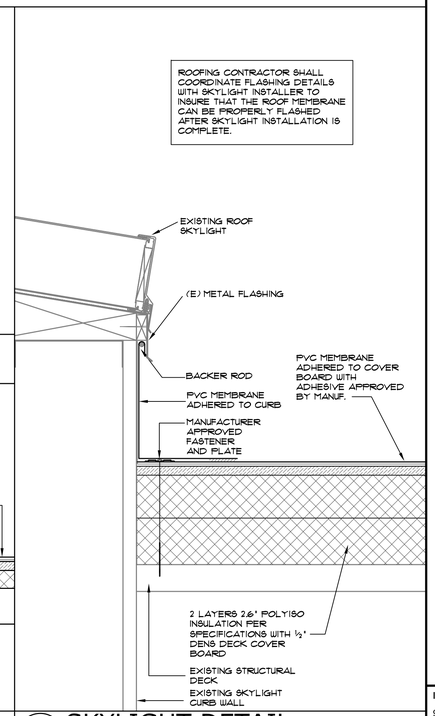
5 ROOF DRAIN DETAIL
SCALE: 3" = 1'-0"



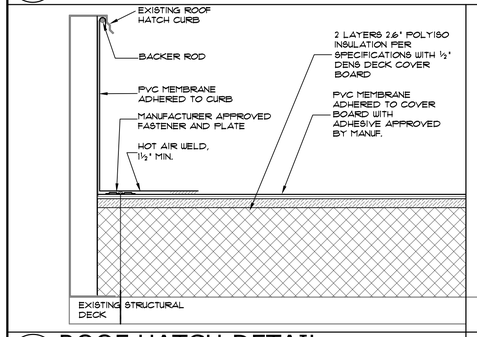
6 PARAPET DETAIL @ EAST ENTRY
SCALE: 3" = 1'-0"



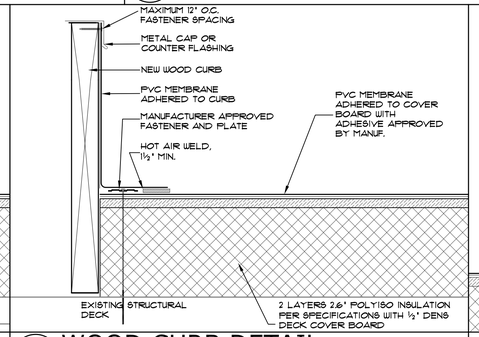
7 WALKPAD INSTALLATION
SCALE: NTS



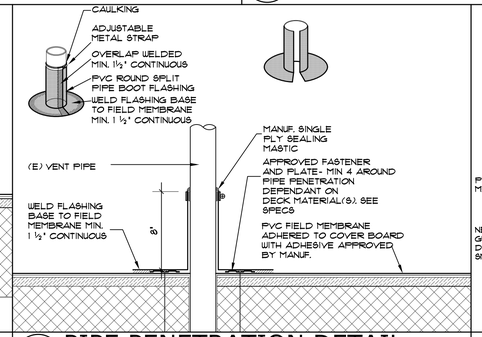
13 SKYLIGHT DETAIL
SCALE: 3" = 1'-0"



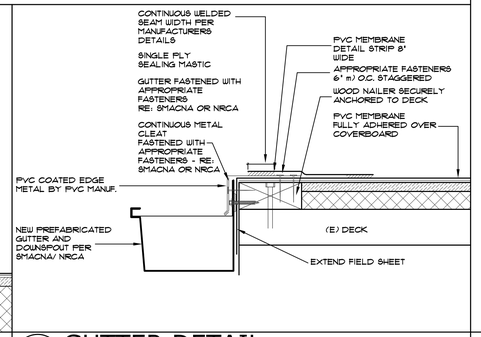
9 ROOF HATCH DETAIL
SCALE: 3" = 1'-0"



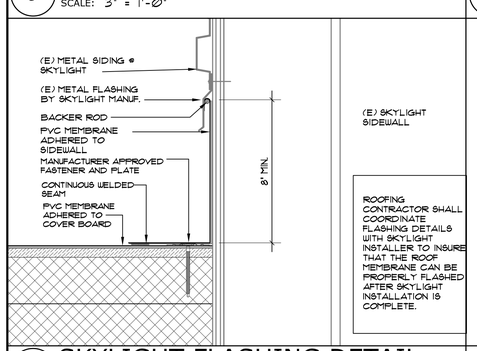
10 WOOD CURB DETAIL
SCALE: 3" = 1'-0"



11 PIPE PENETRATION DETAIL
SCALE: 3" = 1'-0"



12 GUTTER DETAIL
SCALE: 3" = 1'-0"



14 SKYLIGHT FLASHING DETAIL
SCALE: 3" = 1'-0"

1. DETAILS PROVIDED ARE GENERIC AND FOR DESIGN INTENT ONLY. PROVIDE INSTALLATION AS RECOMMENDED BY MANUFACTURER FOR FULL SYSTEM WARRANTY.
2. SEE FLASHING AND PVC ROOF SYSTEM SPECIFICATIONS FOR ADDITION INFORMATION
3. REMOVE AND REINSTALL EXHAUST FANS IF REQUIRED FOR PROPER FLASHING OF ROOF MEMBRANES
4. PROVIDE NEW EQUIPMENT CURBS AS REQUIRED FOR HIGHER INSULATION THICKNESS
5. ALL SHEET METAL MUST BE INSTALLED TO SMACNA GUIDELINES
6. ALL CAULKING/SEALANT SHALL BE COMPATIBLE WITH ROOFING SYSTEM AND SHOULD BE SOURCED FROM THE SAME MANUFACTURER

DESIGN EDGE
architecture interior design
711 N. CASCADE AVE. SUITE 100
COLORADO SPRINGS, CO 80903
TELEPHONE: (719) 667-1972
482 S. BROADWAY
DENVER, COLORADO 80209
TELEPHONE: (303) 260-7277

REGISTRATION:

PIKES PEAK LIBRARY 21C
RE-ROOFING
1175 CHAPEL HILLS DR
COLORADO SPRINGS, COLORADO

ISSUE DATES:
95% REVIEW - 09-19-18
100% CD'S 09-21-18

PROJECT NO.	18139
DRAWN BY:	
CHECKED BY:	SGT
DATE:	9/21/2018

SHEET TITLE:
DETAILS

SHEET NO.
A2.1